

MANNINGHAM UNITING CHURCH COMMUNITY HUB

ARCHITECTURAL DRAWING SCHEDULE

#	DESCRIPTION	A1
TP-00	COVER PAGE & DRAWING SCHEDULE	-
TP-01	SITE LOCATION & CONTEXT PLAN	1:500
TP-02	EXISTING CONDITIONS & DEMOLITION PLAN	1:200
TP-03	EXTERNAL SITE WORKS	1:200
TP-04	BASEMENT CAR PARK PLAN	1:200
TP-05	GROUND FLOOR PLAN	1:200
TP-06	FIRST FLOOR PLAN	1:200
TP-07	ROOF PLAN	1:200
TP-08	ELEVATIONS	1:200
TP-09	SHADOW DIAGRAMS	1:200
TP-10	SHADOW DIAGRAMS	1:200
TP-11	SHADOW DIAGRAMS	1:200

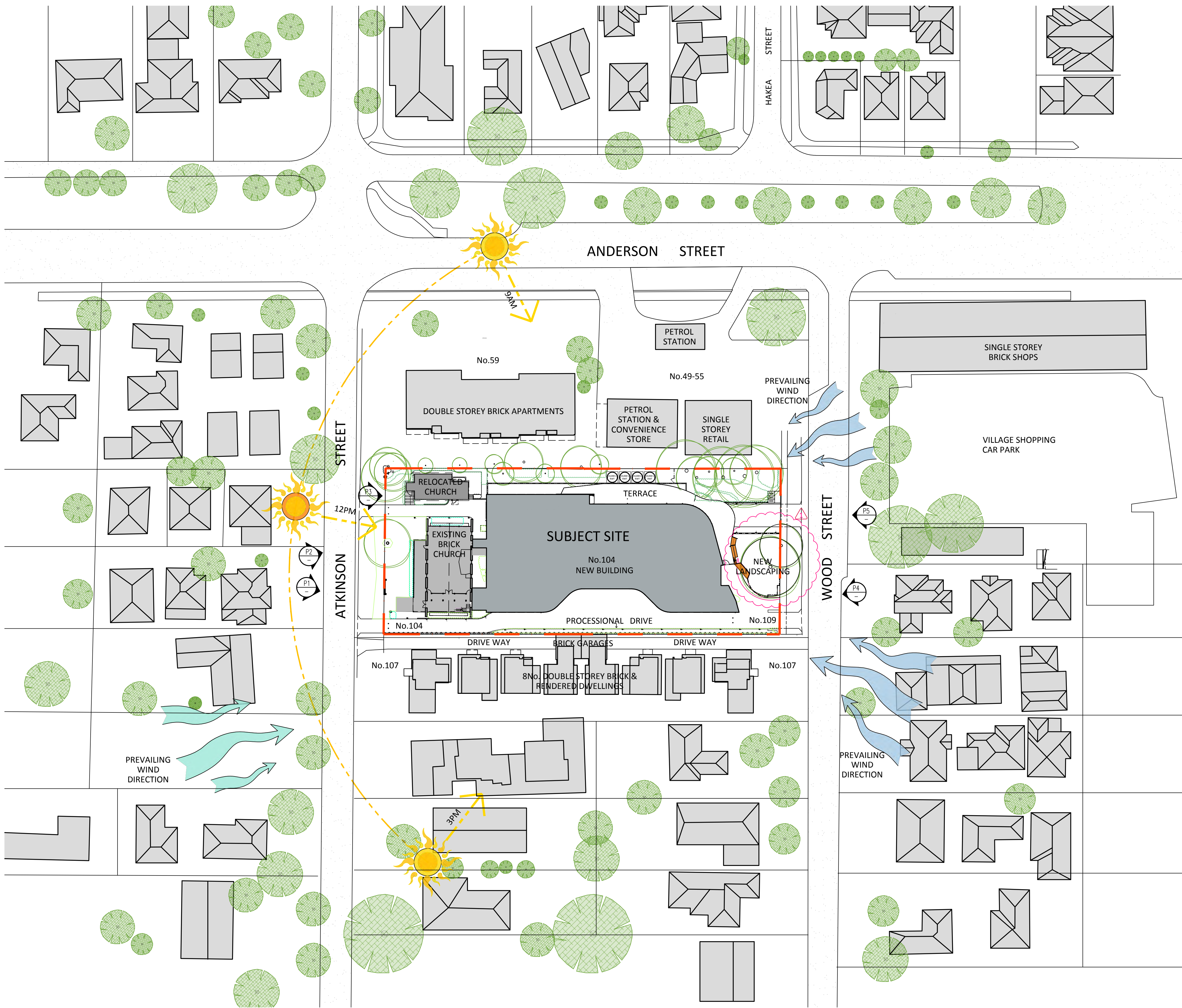
DRAWINGS & DOCUMENTS BY OTHERS

- HERITAGE IMPACT ASSESSMENT
- LANDSCAPE DRAWINGS
- ARBORIST REPORT
- TRAFFIC ENGINEER DRAWINGS & REPORT
- SUSTAINABLE DESIGN ASSESSMENT



ARTISTIC IMPRESSION OF PROPOSED COMMUNITY HUB. PROPOSED LANDSCAPING HAS BEEN OMITTED FOR CLARITY. REFER TO ARCHITECTURAL & LANDSCAPE PLANS FOR ACTUAL PROPOSAL.

FPPV ARCHITECTURE 76 Hoddle Street, Abbotsford VIC 3067 03 9854 6400 - Tel www.fppv.com.au	PRELIMINARY ISSUE NOT TO BE USED FOR CONSTRUCTION PURPOSES	NO. DATE ITEM C	NO. DATE ITEM C	© COPYRIGHT FPPV PTY LTD This document and all related documents pertaining to the contents of this document are protected under the Copyright Act 1968 (Cth). These documents shall not be reproduced or distributed without written consent from an authorized representative of FPPV Pty Ltd.	CLIENT UNITING CHURCH VICTORIA	PROJECT CAPTAIN PV DRAWN LB CHECKED BY AL PLOT DATE 14.12.18	PROJECT TITLE MANNINGHAM UNITING CHURCH COMMUNITY HUB DRAWING COVER PAGE & DRAWING SCHEDULE	PROJECT No. 36115 SCALE - DRAWING NUMBER TP - 00 DRAWING TYPE TOWN PLANNING	SHEET SIZE - REVISION 4
		4 14.12.18 NOTICE OF DECISION CONDITIONS AMENDMENT FP 3 24.05.18 AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE CONSULTANT EP 2 20.02.18 ADDITION OF FENCE & GATE TO ENCLOSE LANDSCAPED GARDEN AREA CP 1 14.02.18 AMENDED IN RESPONSE TO RFI 30.01.2018 CP - 13.12.17 ISSUE FOR TOWN PLANNING PERMIT CP	NO. DATE ITEM C	NO. DATE ITEM C	CONSTRUCTION PROCEDURES The Builder/Contractor shall confirm all levels, dimensions & information within these documents prior to commencement of work on site. Any discrepancies shall be submitted to FPPV Pty Ltd in a written request for instructions. Dimensioned distances take precedence over scaled distances.	PROJECT ADDRESS 104 ATKINSON STREET TEMPLESTOWE, VIC 3106			



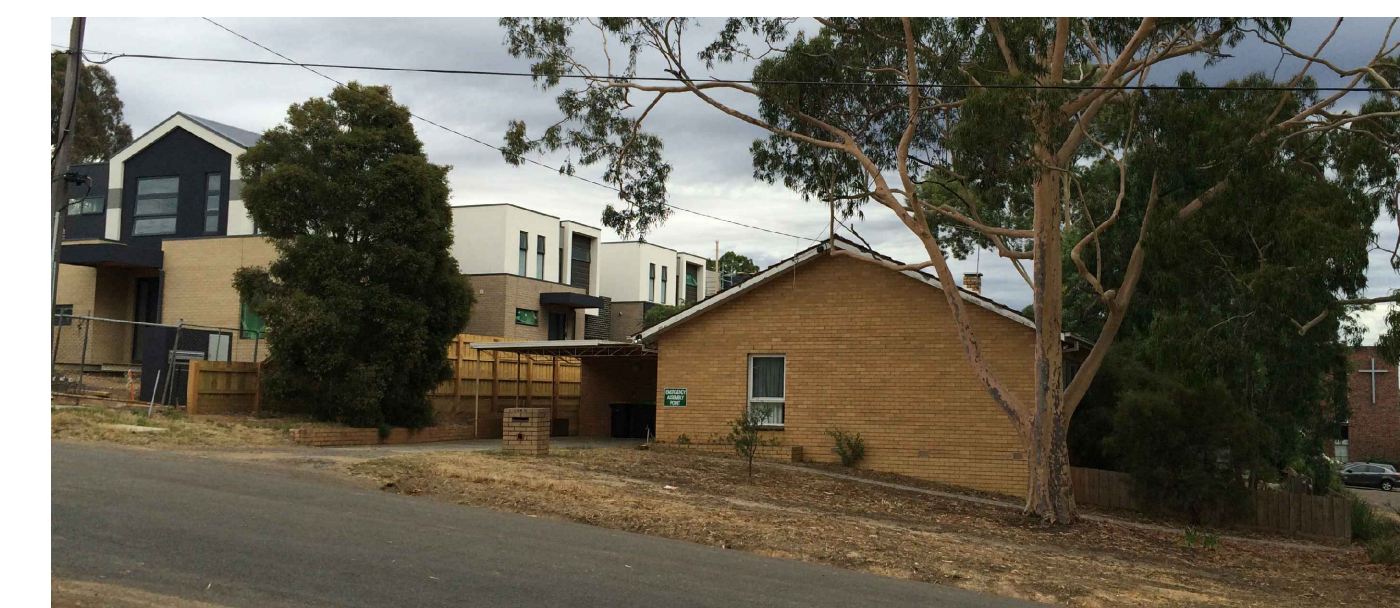
P1. EXISTING BRICK CHURCH.



P2. POSITION OF THE EXISTING TIMBER CHURCH RELATIVE TO THE EXISTING BRICK CHURCH.



P3. EXISTING TIMBER CHURCH.



P4. No. 107 & No. 109 WOOD STREET .



P5. No. 109 WOOD STREET & PART OF No. 49-55 ANDERSON STREET.

NO.	DATE	ITEM	C
1	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT	FP
			C

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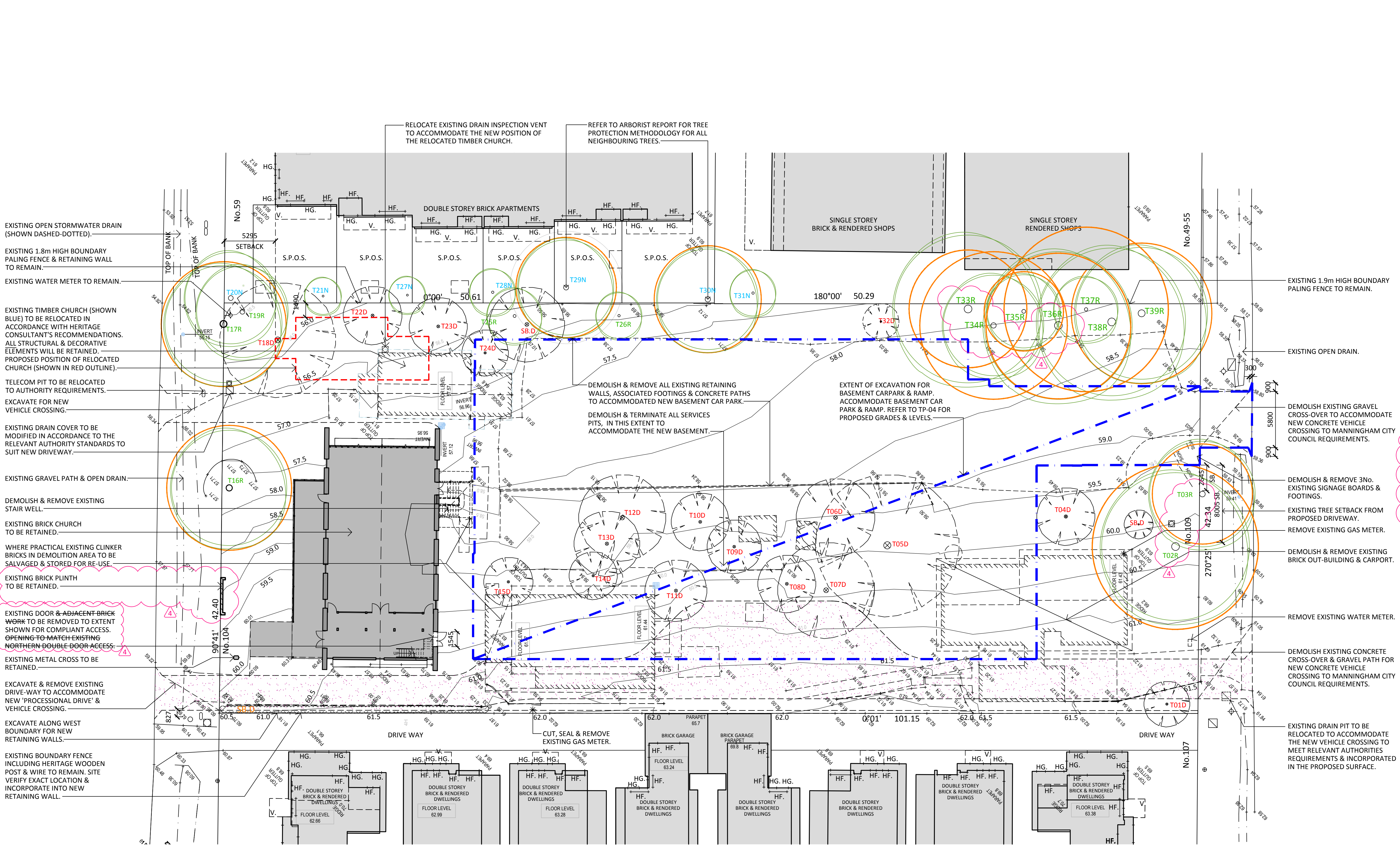
CLIENT
UNITING CHURCH VICTORIA
PROJECT ADDRESS
**104 ATKINSON STREET
TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV
DRAWN
LB
CHECKED BY
AL
PLOT DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
COMMUNITY HUB**
DRAWING
SITE LOCATION & CONTEXT PLAN

PROJECT No.
36115
SCALE
1:500
DRAWING NUMBER
TP-01
DRAWING TYPE
TOWN PLANNING

SHEET SIZE
A1
REVISION
1



LEGEND

- DEMOLISH & REMOVE ALL BUILDING & ELEMENTS (SHOWN DASHED).
- ▨ EXISTING BUILDING & ASSOCIATED FOOTINGS, ROOFING & SERVICES TO BE DEMOLISHED & REMOVED.
- ⊙ T##D TREES & SHRUBS TO BE DEMOLISHED & REMOVED. ## INDICATE TREE NUMBER. REFER TO ARBORIST REPORT.
- ⊙ T##R EXISTING TREE TO BE RETAINED. ## INDICATE TREE NUMBER. REFER TO ARBORIST REPORT FOR EXTENT OF PROTECTION WORKS REQUIRED.
- ⊙ T##N EXISTING TREE ON NEIGHBOURING PROPERTY TO BE PROTECTED. ## INDICATE TREE NUMBER. REFER TO ARBORIST REPORT.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR EXTENT & METHOD OF PROTECTION REQUIRED FOR EACH TREE.
- SB.D EXISTING SHRUBS TO BE REMOVED.
- ▭ EXTENT OF EXCAVATION FOR BASEMENT CAR PARK. REFER TO TP-04 FOR FULL SCOPE OF WORKS.
- ▭ EXTENT OF EXCAVATION FOR NEW 'PROCESSIONAL DRIVE'. REFER TO TP-05 FOR FULL SCOPE OF WORKS.

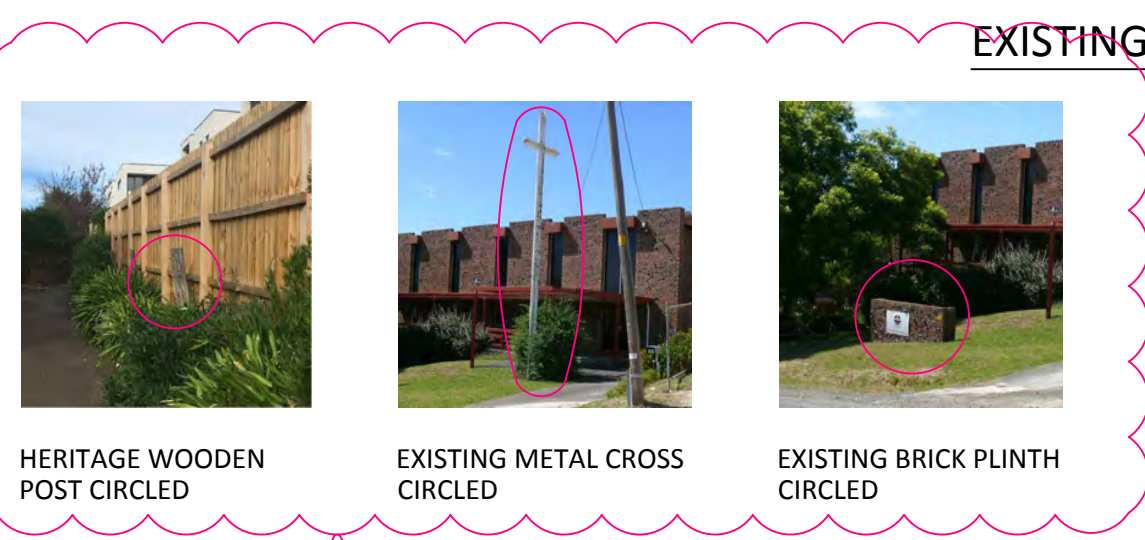
SURVEY NOTE

ALL CONTOURS AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AS PER THE 'SURVEY AND FEATURE PLAN' BY 'B.R. SMITH SURVEYORS', DATED 17-01-2017. REFERENCE NUMBER: 3852.

ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

TREE PROTECTION

TREE PROTECTION ZONE TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD FOR PROTECTION OF TREES ON DEVELOPMENT SITES (AS 4970-2009) AND TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. REFER TO ARBORIST REPORT FOR TREE ROOT PROTECTION METHODOLOGY FOR ALL TREES TO BE RETAIN.



EXISTING CONDITIONS & DEMOLITION PLAN

FPPV ARCHITECTURE
 76 Hoddle Street, Abbotsford VIC 3067
 03 9854 6400 - Tel / 03 9853 7163 - Fax
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PRELIMINARY ISSUE
 NOT TO BE USED FOR CONSTRUCTION PURPOSES

NO.	DATE	ITEM	C
4	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT	FP
3	18.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE LETTER DATED 04.04.18	LB
2	04.05.18	TREE NUMBER COORDINATION	LB
		ITEM	C

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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV

DRAWN
LB

CHECKED BY
AL

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**

DRAWING
**EXISTING CONDITIONS &
 DEMOLITION PLAN**

PROJECT No.
36115

SCALE
1:200

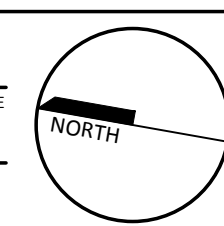
DRAWING NUMBER
TP - 02

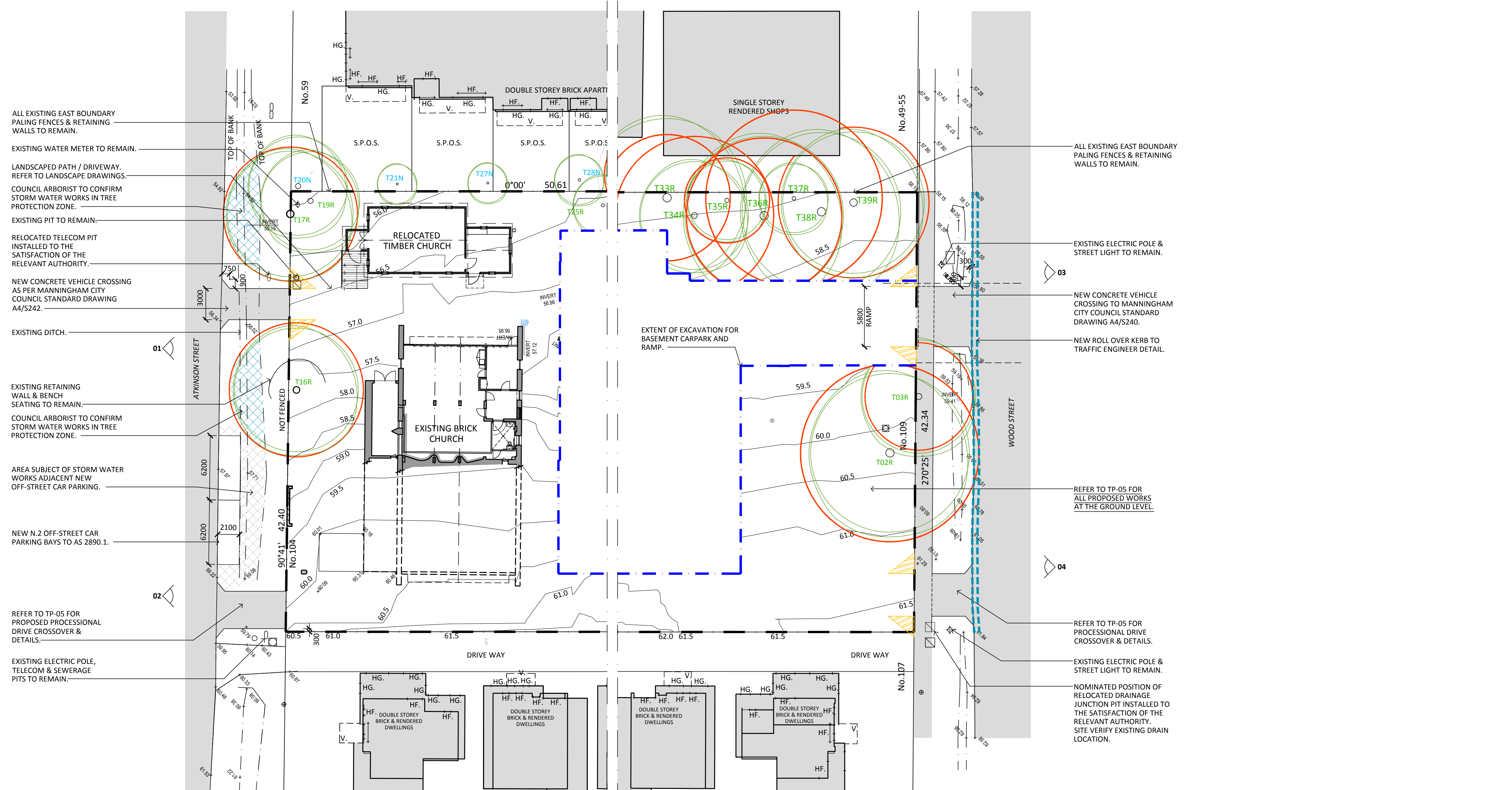
DRAWING TYPE
TOWN PLANNING

SHEET SIZE
A1

REVISION
4

DATE
14.12.18





SURVEY NOTE

ALL CONTOURS AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AS PER THE 'SURVEY AND FEATURE PLAN' BY 'B.R. SMITH SURVEYORS', DATED 17-01-2017. REFERENCE NUMBER: 3852.

ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

LEGEND

- BOUNDARY LINE.
- EXCAVATION LINE.
- EXISTING TREE TO REMAIN.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR PROTECTION RADIUS & METHODOLOGY.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR ALL NEW LANDSCAPING & EXTERNAL WORKS.
- STORM WATER WORKS IN TREE PROTECTION ZONE.
- PROPOSED ROLL OVER KERB.
- NOMINAL LOCATION OF ADJACENT DWELLING GROUND FLOOR HABITABLE WINDOW.
- NOMINAL LOCATION OF ADJACENT DWELLING FIRST FLOOR HABITABLE WINDOW.
- 2.5m x 2m SIGHT-LINE TRIANGLE AS PER AS/NZS 2890.1:2004. LINE OF SIGHT MUST NOT BE OBSTRUCTED.



P.01 - ATKINSON STREET

P.02 - ATKINSON STREET

P.03 - WOOD STREET

P.04 - WOOD STREET

FPPV ARCHITECTURE
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 03 9854 6400 - Tel / 03 9853 7163 - Fax
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PRELIMINARY ISSUE
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NO.	DATE	ITEM	C
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			C

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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV

DRAWN
LB

CHECKED BY
AL

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**

DRAWING
EXTERNAL SITE WORKS

PROJECT No.
36115

SCALE
1:200

DRAWING NUMBER
TP - 03

REVISION
1

DATE
14.12.18

PROJECT TYPE
TOWN PLANNING

SURVEY NOTE

ALL CONTOURS AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AS PER THE 'SURVEY AND FEATURE PLAN' BY 'B.R.SMITH SURVEYORS', DATED 17-01-2017. REFERENCE NUMBER: 3852.

ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

DEVELOPMENT SUMMARY TABLE

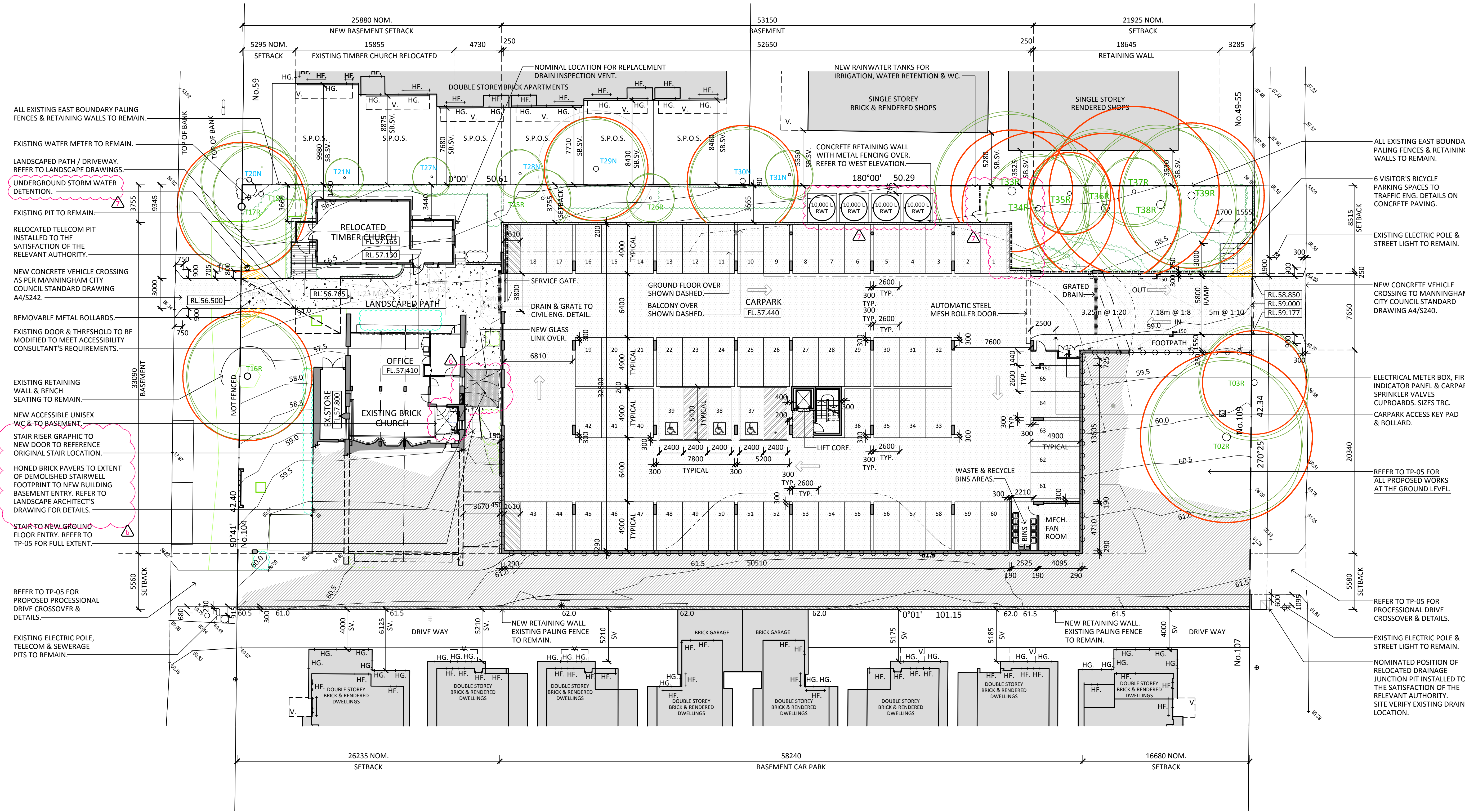
FULL SITE AREA:	4281.30m ²
EXISTING AREAS:	
BUILDING SITE COVERAGE:	1018.36m ²
IMPERVIOUS SITE COVERAGE:	1323.20m ²
CAR PARKING SPACES:	42
GARDEN AREA:	994.67m ²
PROPOSED AREAS:	
BUILDING SITE COVERAGE:	2410.61m ²
IMPERVIOUS SITE COVERAGE:	3037.69m ²
CAR PARKING SPACES:	65
GARDEN AREA:	1150.00m ²
UPPER FLOOR OFFICE SPACE:	325.00m ²

LEGEND

- NEW EXTERNAL WALL WITH LIGHT WEIGHT CLADDING
- NEW BRICK VENEER WALL.
- NEW INTERNAL WALL.
- NEW POWDERCOATED METAL FENCE.
- NEW STRUCTURAL COLUMN TO ENG. DETAILS.
- EXISTING TREE TO REMAIN.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR PROTECTION RADIUS & METHODOLOGY.
- NEW TREE AS PER LANDSCAPE ARCHITECT DRAWINGS & SPECIFICATION.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR ALL NEW LANDSCAPING & EXTERNAL WORKS.
- NEW LANDSCAPING & TILED PAVING TO LANDSCAPE ARCHITECT'S DESIGN.
- NEW CONCRETE PAVING COLOUR & AGGREGATES TO BE SELECTED. SAW CUT JOINTS & BROOM FINISH.
- NEW COLOURED CONCRETE PATH / DRIVE WAY IN BORACOLOR 'METAL' COLOUR (LIGHT GRAY).
- NEW COLOURED AND TEXTURED CONCRETE PATH
- PERMEABLE PATH
- S.P.O.S. SECLUDED PRIVATE OPEN SPACE.
- HG. NOMINAL LOCATION OF ADJACENT DWELLING GROUND FLOOR HABITABLE WINDOW.
- HF. NOMINAL LOCATION OF ADJACENT DWELLING FIRST FLOOR HABITABLE WINDOW.
- 15,000 L RW TANK ON CONCRETE PLINTH FOR WATER RETENTION, IRRIGATION & WC.
- 2.5m x 2m SIGHT-LINE TRIANGLE AS PER AS/NZS 2890.1:2004. LINE OF SIGHT MUST NOT BE OBSTRUCTED.
- RL.xx.xxx PROPOSED RELATIVE / REDUCED LEVEL
- FL.xx.xxx PROPOSED STRUCTURAL FLOOR LEVEL
- BRICK LIGHT IN MASONRY WALL AT 300 AFFL & 5000 CTRS.
- BOLLARD LIGHTING TBC. AT 5000 CTRS.

AREA ANALYSIS

EXISTING TIMBER CHURCH:	
BUILDING AREA	84.63m ²
COVERED AREA	96.57m ²
EXISTING BRICK CHURCH:	
BASEMENT	93.00m ²
GROUND FLOOR	240.00m ²
CONCRETE PAVED VERANDAH	75.00m ²
MEZZANINE	48.90m ²
COVERED AREA	408.00m ²
EXISTING HALL:	
GROUND FLOOR	156.91m ²
COVERED AREA	215.18m ²
EXISTING DWELLING:	
GROUND FLOOR	204.95m ²
COVERED AREA	278.84m ²
EXISTING SHEDS:	19.77m ²
PROPOSED BUILDING:	
BASEMENT CAR PARK	2037.40m ²
GROUND FLOOR	1614.36m ²
GROUND FLOOR TERRACE	222.70m ²
NORTH EXTERNAL STAIR	21.50m ²
FIRST FLOOR INT. AREA	378.03m ²
FIRST FLOOR PLATFORM	21.60m ²
COVERED AREA	1906.04m ²
PROCESSIONAL DRIVE:	579.16m ²



ALL EXISTING EAST BOUNDARY PALING FENCES & RETAINING WALLS TO REMAIN.

EXISTING WATER METER TO REMAIN.

LANDSCAPED PATH / DRIVEWAY. REFER TO LANDSCAPE DRAWINGS.

UNDERGROUND STORM WATER DETENTION.

EXISTING PIT TO REMAIN.

RELOCATED TELECOM PIT INSTALLED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

NEW CONCRETE VEHICLE CROSSING AS PER MANNINGHAM CITY COUNCIL STANDARD DRAWING A4/S242.

REMOVABLE METAL BOLLARDS.

EXISTING DOOR & THRESHOLD TO BE MODIFIED TO MEET ACCESSIBILITY CONSULTANT'S REQUIREMENTS.

EXISTING RETAINING WALL & BENCH SEATING TO REMAIN.

NEW ACCESSIBLE UNISEX WC & TO BASEMENT.

STAIR RISER GRAPHIC TO NEW DOOR TO REFERENCE ORIGINAL STAIR LOCATION.

HONED BRICK PAVERS TO EXTENT OF DEMOLISHED STAIRWELL FOOTPRINT TO NEW BUILDING BASEMENT ENTRY. REFER TO LANDSCAPE ARCHITECT'S DRAWING FOR DETAILS.

STAIR TO NEW GROUND FLOOR ENTRY. REFER TO TP-05 FOR FULL EXTENT.

REFER TO TP-05 FOR PROPOSED PROCESSIONAL DRIVE CROSSOVER & DETAILS.

EXISTING ELECTRIC POLE, TELECOM & SEWERAGE PITS TO REMAIN.

ALL EXISTING EAST BOUNDARY PALING FENCES & RETAINING WALLS TO REMAIN.

6 VISITOR'S BICYCLE PARKING SPACES TO TRAFFIC ENG. DETAILS ON CONCRETE PAVING.

EXISTING ELECTRIC POLE & STREET LIGHT TO REMAIN.

NEW CONCRETE VEHICLE CROSSING TO MANNINGHAM CITY COUNCIL STANDARD DRAWING A4/S240.

ELECTRICAL METER BOX, FIRE INDICATOR PANEL & CARPARK SPRINKLER VALVES CUPBOARDS. SIZES TBC.

CARPARK ACCESS KEY PAD & BOLLARD.

REFER TO TP-05 FOR ALL PROPOSED WORKS AT THE GROUND LEVEL.

REFER TO TP-05 FOR PROCESSIONAL DRIVE CROSSOVER & DETAILS.

EXISTING ELECTRIC POLE & STREET LIGHT TO REMAIN.

NOMINATED POSITION OF RELOCATED DRAINAGE JUNCTION PIT INSTALLED TO THE SATISFACTION OF THE RELEVANT AUTHORITY. SITE VERIFY EXISTING DRAIN LOCATION.

7	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT	FP
6	22.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE CONSULTANT	LB
5	18.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE LETTER DATED 04.04.18	LB
4	04.05.18	TREE NUMBER COORDINATION	LB
3	01.05.18	RAIN WATER TANKS ADDED	LB
2	20.02.18	DELETION OF THE WORD 'INTERCOM'; KEY PAD ACCESS ONLY	C
NO.	DATE	ITEM	C

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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
**104 ATKINSON STREET
TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV

DRAWN
LB

CHECKED BY
AL

PLOT DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
COMMUNITY HUB**

DRAWING
BASEMENT CAR PARK PLAN

PROJECT No.
36115

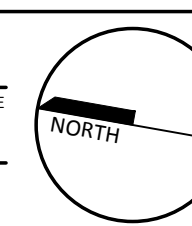
SCALE
1:200

DRAWING NUMBER
TP - 04

REVISION
7

SHEET SIZE
A1

DRAWING TYPE
TOWN PLANNING



SURVEY NOTE

ALL CONTOURS AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AS PER THE 'SURVEY AND FEATURE PLAN' BY 'B.R.SMITH SURVEYORS', DATED 17-01-2017. REFERENCE NUMBER: 3852.

ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

DEVELOPMENT SUMMARY TABLE

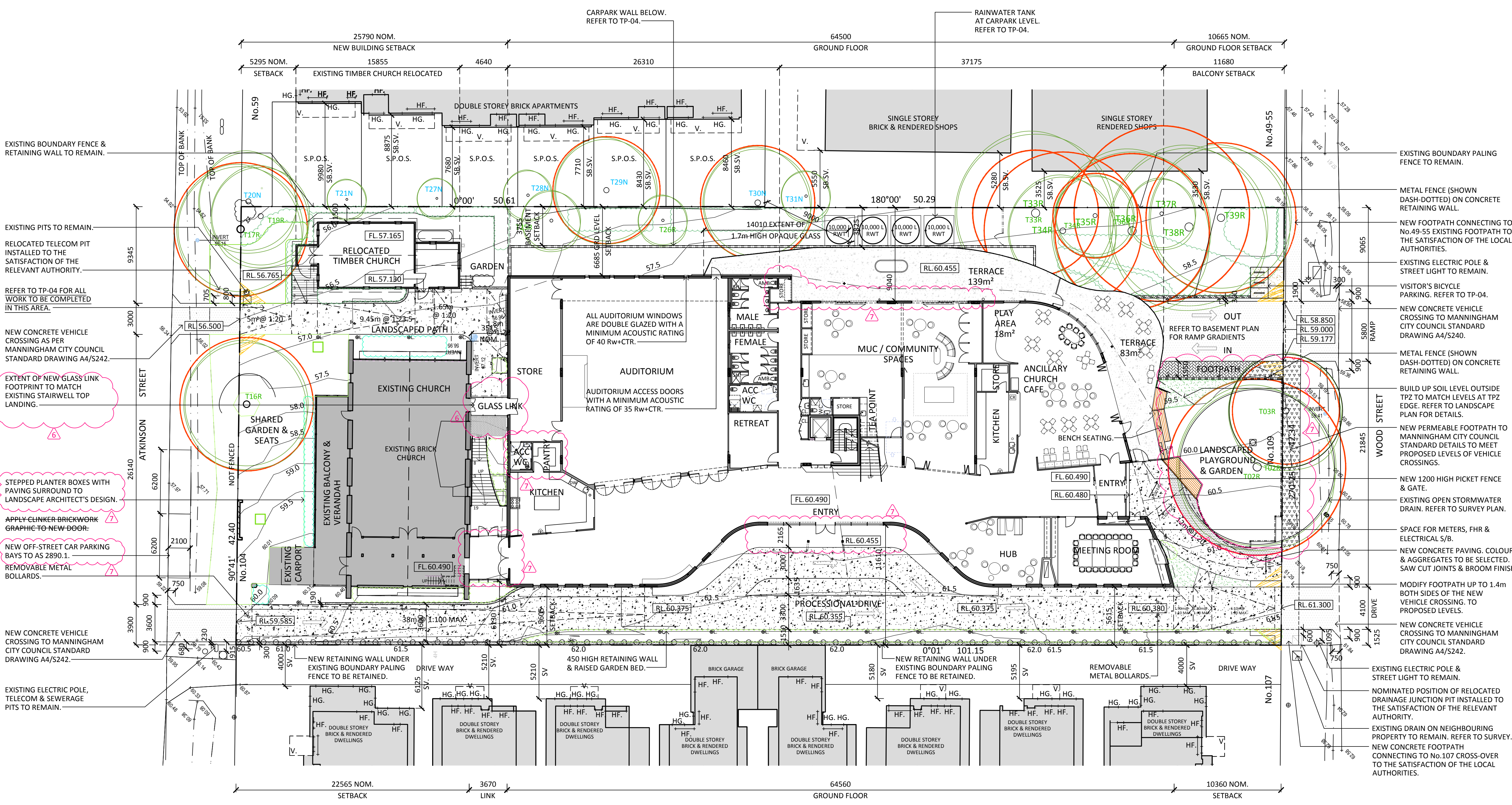
FULL SITE AREA:	4281.30m ²
EXISTING AREAS:	
BUILDING SITE COVERAGE:	1018.36m ²
IMPERVIOUS SITE COVERAGE:	1323.20m ²
CAR PARKING SPACES:	42
GARDEN AREA:	994.67m ²
PROPOSED AREAS:	
BUILDING SITE COVERAGE:	2410.61m ²
IMPERVIOUS SITE COVERAGE:	3037.69m ²
CAR PARKING SPACES:	65
GARDEN AREA:	1150.00m ²
UPPER FLOOR OFFICE SPACE:	325.00m ²

LEGEND

- NEW EXTERNAL WALL WITH LIGHT WEIGHT CLADDING
- NEW BRICK VENEER WALL
- NEW INTERNAL WALL
- NEW POWDERCOATED METAL FENCE
- NEW STRUCTURAL COLUMN TO ENG. DETAILS
- EXISTING TREE TO REMAIN.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR PROTECTION RADIUS & METHODOLOGY.
- NEW TREE AS PER LANDSCAPE ARCHITECT DRAWINGS & SPECIFICATION.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR ALL NEW LANDSCAPING & EXTERNAL WORKS.
- NEW LANDSCAPING & TILED PAVING TO LANDSCAPE ARCHITECT'S DESIGN.
- NEW CONCRETE PAVING COLOUR & AGGREGATES TO BE SELECTED. SAW CUT JOINTS & BROOM FINISH.
- NEW COLOURED CONCRETE PATH / DRIVE WAY IN BORRAL COLOUR 'METAL' COLOUR (LIGHT GRAY).
- NEW COLOURED AND TEXTURED CONCRETE PATH
- PERMEABLE PATH
- VISITOR'S BICYCLE PARKING. REFER TO TP-04.
- NEW CONCRETE VEHICLE CROSSING TO MANNINGHAM CITY COUNCIL STANDARD DRAWING A4/S242.
- METAL FENCE (SHOWN DASH-DOTTED) ON CONCRETE RETAINING WALL.
- NEW FOOTPATH CONNECTING TO No.49-55 EXISTING FOOTPATH TO THE SATISFACTION OF THE LOCAL AUTHORITIES.
- EXISTING ELECTRIC POLE & STREET LIGHT TO REMAIN.
- VISITOR'S BICYCLE PARKING. REFER TO TP-04.
- NEW CONCRETE VEHICLE CROSSING TO MANNINGHAM CITY COUNCIL STANDARD DRAWING A4/S242.
- METAL FENCE (SHOWN DASH-DOTTED) ON CONCRETE RETAINING WALL.
- BUILD UP SOIL LEVEL OUTSIDE TP2 TO MATCH LEVELS AT TP2 EDGE. REFER TO LANDSCAPE PLAN FOR DETAILS.
- NEW PERMEABLE FOOTPATH TO MANNINGHAM CITY COUNCIL STANDARD DETAILS TO MEET PROPOSED LEVELS OF VEHICLE CROSSINGS.
- NEW 1200 HIGH PICKET FENCE & GATE.
- EXISTING OPEN STORMWATER DRAIN. REFER TO SURVEY PLAN.
- SPACE FOR METERS, FHR & ELECTRICAL S/B.
- NEW CONCRETE PAVING. COLOUR & AGGREGATES TO BE SELECTED. SAW CUT JOINTS & BROOM FINISH.
- MODIFY FOOTPATH UP TO 1.4m BOTH SIDES OF THE NEW VEHICLE CROSSING. TO PROPOSED LEVELS.
- NEW CONCRETE VEHICLE CROSSING TO MANNINGHAM CITY COUNCIL STANDARD DRAWING A4/S242.
- EXISTING ELECTRIC POLE & STREET LIGHT TO REMAIN.
- NOMINATED POSITION OF RELOCATED DRAINAGE JUNCTION PIT INSTALLED TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- EXISTING DRAIN ON NEIGHBOURING PROPERTY TO REMAIN. REFER TO SURVEY.
- NEW CONCRETE FOOTPATH CONNECTING TO No.107 CROSS-OVER TO THE SATISFACTION OF THE LOCAL AUTHORITIES.

AREA ANALYSIS

EXISTING TIMBER CHURCH:	
BUILDING AREA	84.63m ²
COVERED AREA	96.57m ²
EXISTING BRICK CHURCH:	
BASEMENT	93.00m ²
GROUND FLOOR	240.00m ²
CONCRETE PAVED VERANDAH	75.00m ²
MEZZANINE	48.90m ²
COVERED AREA	408.00m ²
EXISTING HALL:	
GROUND FLOOR	156.91m ²
COVERED AREA	215.18m ²
EXISTING DWELLING:	
GROUND FLOOR	204.95m ²
COVERED AREA	278.84m ²
EXISTING SHEDS:	19.77m ²
PROPOSED BUILDING:	
BASEMENT CAR PARK	2037.40m ²
GROUND FLOOR	1614.36m ²
GROUND FLOOR TERRACE	222.70m ²
NORTH EXTERNAL STAIR	21.50m ²
FIRST FLOOR INT. AREA	378.03m ²
FIRST FLOOR PLATFORM	21.60m ²
COVERED AREA	1906.04m ²
PROFESSIONAL DRIVE:	579.16m ²



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PRELIMINARY ISSUE
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7	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT & MINOR COORDIN. CHANGES	FP
6	24.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE CONSULTANT	LB
5	18.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE LETTER DATED 04.04.18	LB
4	04.05.18	TREE NUMBER COORDINATION	LB
3	22.02.18	NOTE SPECIFYING ACOUSTIC RATINGS FOR AUDITORIUM DOORS	CP
2	20.02.18	ADDITION OF FENCE & GATE BETWEEN CAFE AREA & SOUTH ENTRY PATH TO ENCLOSE LANDSCAPED PLAYGROUND & GARDEN AREA	CP
1	14.02.18	AMENDED IN RESPONSE TO RFI 30.01.2018	CP
1	13.12.17	ISSUE FOR TOWN PLANNING PERMIT	CP
NO.	DATE	ITEM	C

NO.	DATE	ITEM	C
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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**

CHECKED BY
AL

DRAWING NUMBER
GROUND FLOOR PLAN

PLOT DATE
14.12.18

PROJECT No.
36115

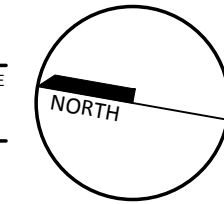
SCALE
1:200

DRAWING NUMBER
TP - 05

SHEET SIZE
A1

REVISION
7

DRAWING TYPE
TOWN PLANNING



SURVEY NOTE

ALL CONTOURS AND LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AS PER THE 'SURVEY AND FEATURE PLAN' BY 'B.R.SMITH SURVEYORS', DATED 17-01-2017. REFERENCE NUMBER: 3852.

ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

DEVELOPMENT SUMMARY TABLE

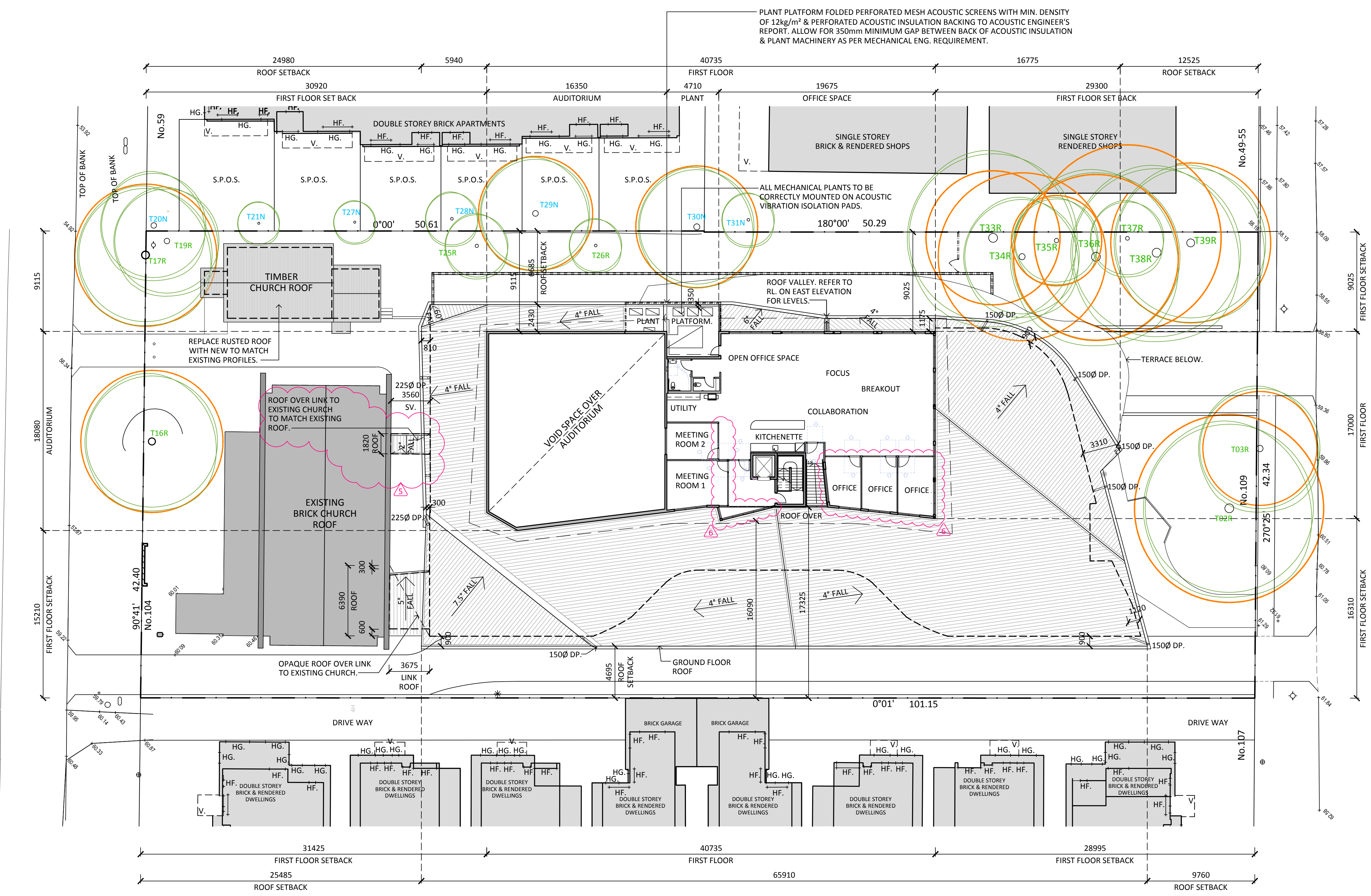
FULL SITE AREA:	4281.30m ²
EXISTING AREAS:	
BUILDING SITE COVERAGE:	1018.36m ²
IMPERVIOUS SITE COVERAGE:	1323.20m ²
CAR PARKING SPACES:	42
GARDEN AREA:	994.67m ²
PROPOSED AREAS:	
BUILDING SITE COVERAGE:	2410.61m ²
IMPERVIOUS SITE COVERAGE:	3037.69m ²
CAR PARKING SPACES:	65
GARDEN AREA:	1150.00m ²
UPPER FLOOR OFFICE SPACE:	325.00m ²

LEGEND

- NEW EXTERNAL WALL WITH LIGHT WEIGHT CLADDING
- NEW BRICK VENEER WALL
- NEW INTERNAL WALL
- NEW POWDERCOATED METAL FENCE
- NEW STRUCTURAL COLUMN TO ENG. DETAILS
- EXISTING TREE TO REMAIN.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR PROTECTION RADIUS & METHODOLOGY.
- NEW TREE AS PER LANDSCAPE ARCHITECT DRAWINGS & SPECIFICATION.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR ALL NEW LANDSCAPING & EXTERNAL WORKS.
- NEW LANDSCAPING & TILED PAVING TO LANDSCAPE ARCHITECT'S DESIGN.
- NEW CONCRETE PAVING COLOUR & AGGREGATES TO BE SELECTED. SAW CUT JOINTS & BROOM FINISH.
- NEW COLOURED CONCRETE PATH / DRIVE WAY IN BORRAL COLORI 'METAL' COLOUR (LIGHT GRAY).
- NEW COLOURED AND TEXTURED CONCRETE PATH
- PERMEABLE PATH
- S.P.O.S. SECLUDED PRIVATE OPEN SPACE.
- HG. NOMINAL LOCATION OF ADJACENT DWELLING GROUND FLOOR HABITABLE WINDOW.
- HF. NOMINAL LOCATION OF ADJACENT DWELLING FIRST FLOOR HABITABLE WINDOW.
- 15,000 L RWV
- 2.5m x 2m SIGHT-LINE TRIANGLE AS PER AS/NZS 2890.1:2004. LINE OF SIGHT MUST NOT BE OBSTRUCTED.
- PROPOSED RELATIVE / REDUCED LEVEL
- PROPOSED STRUCTURAL FLOOR LEVEL
- BRICK LIGHT IN MASONRY WALL AT 300 AFFL & 5000 CTRS.
- BOLLARD LIGHTING TBC. AT 5000 CTRS.

AREA ANALYSIS

EXISTING TIMBER CHURCH:	
BUILDING AREA	84.63m ²
COVERED AREA	96.57m ²
EXISTING BRICK CHURCH:	
BASEMENT	93.00m ²
GROUND FLOOR	240.00m ²
CONCRETE PAVED VERANDAH	75.00m ²
MEZZANINE	48.90m ²
COVERED AREA	408.00m ²
EXISTING HALL:	
GROUND FLOOR	156.91m ²
COVERED AREA	215.18m ²
EXISTING DWELLING:	
GROUND FLOOR	204.95m ²
COVERED AREA	278.84m ²
EXISTING SHEDS:	
	19.77m ²
PROPOSED BUILDING:	
BASEMENT CAR PARK	2037.40m ²
GROUND FLOOR	1614.36m ²
GROUND FLOOR TERRACE	222.70m ²
NORTH EXTERNAL STAIR	21.50m ²
FIRST FLOOR INT. AREA	378.03m ²
FIRST FLOOR PLATFORM	21.60m ²
COVERED AREA	1906.04m ²
PROCESSIONAL DRIVE:	579.16m ²



NO.	DATE	ITEM	BY	CHKD.
6	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT	FP	
5	24.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE CONSULTANT	LB	
4	18.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE LETTER DATED 04.04.18	LB	
3	04.05.18	TREE NUMBER COORDINATION	LB	
2	22.02.18	ACOUSTIC NOTES FOR PLANT PLATFORM & PERFORATED SCREENS	CP	

NO.	DATE	ITEM	BY	CHKD.

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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

CHECKED BY
AL

PROJECT CAPTAIN
PV

DRAWN
LB

DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**

DRAWING
FIRST FLOOR PLAN

PROJECT No.
36115

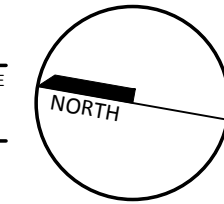
SCALE
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DRAWING NUMBER
TP - 06

REVISION
6

SHEET SIZE
A1

TOWN PLANNING



SURVEY NOTE

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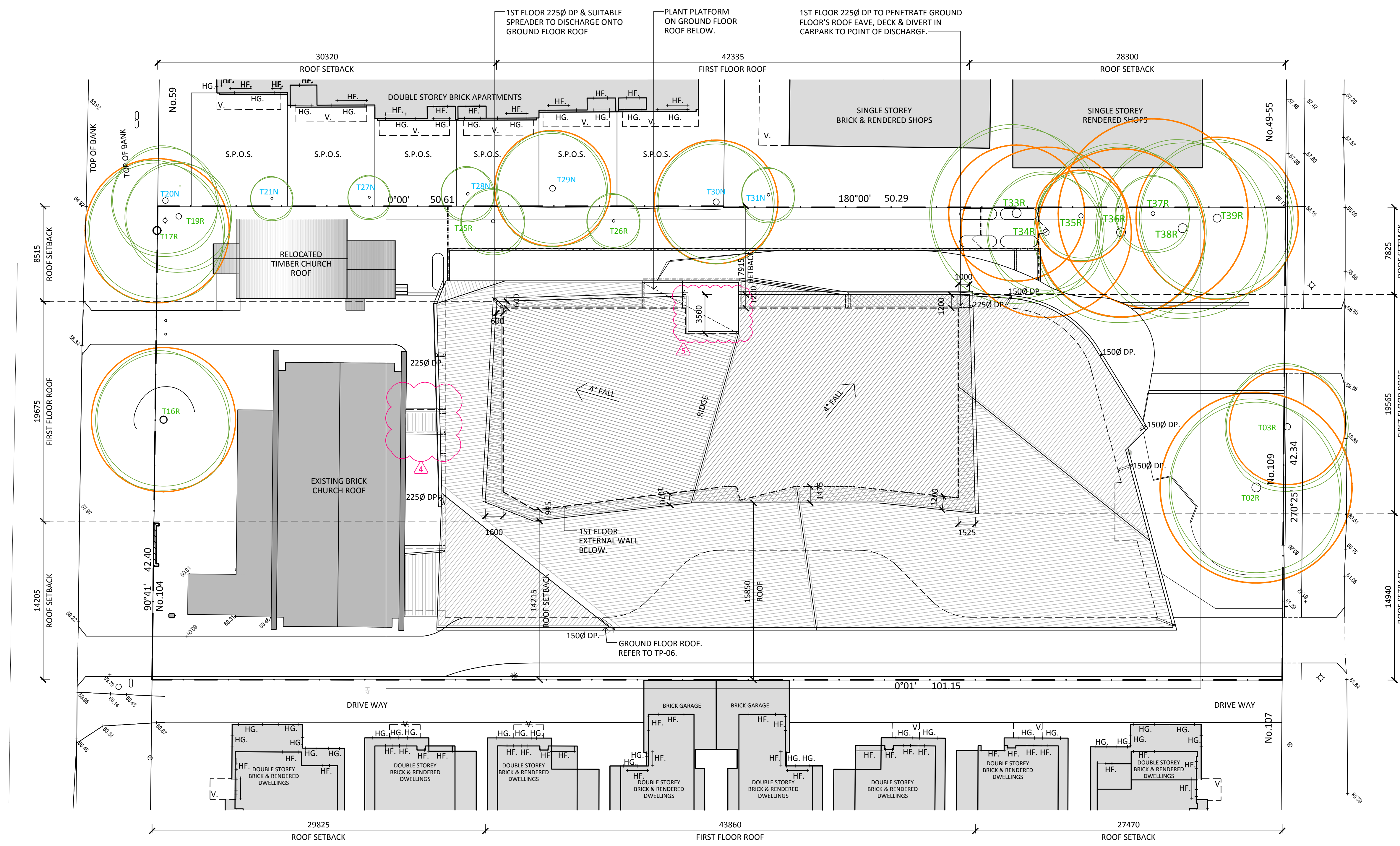
ALL INTERNAL BOUNDARY LINES HAS BEEN OMITTED FOR CLARITY PURPOSES. REFER TO 'SURVEY AND FEATURE PLAN' FOR EXISTING LAND PARCELS INFORMATION.

LEGEND

- NEW EXTERNAL WALL WITH LIGHT WEIGHT CLADDING
- NEW BRICK VENEER WALL
- NEW INTERNAL WALL
- NEW POWDERCOATED METAL FENCE
- NEW STRUCTURAL COLUMN TO ENG. DETAILS
- EXISTING TREE TO REMAIN.
- TREE PROTECTION ZONE. REFER TO ARBORIST REPORT FOR PROTECTION RADIUS & METHODOLOGY.
- NEW TREE AS PER LANDSCAPE ARCHITECT DRAWINGS & SPECIFICATION.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR ALL NEW LANDSCAPING & EXTERNAL WORKS.
- NEW LANDSCAPING & TILED PAVING TO LANDSCAPE ARCHITECT'S DESIGN.
- NEW CONCRETE PAVING COLOUR & AGGREGATES TO BE SELECTED. SAW CUT JOINTS & BROOM FINISH.
- NEW COLOURED CONCRETE PATH / DRIVE WAY IN BORACOLOR 'METAL' COLOUR (LIGHT GRAY).
- NEW COLOURED AND TEXTURED CONCRETE PATH
- PERMEABLE PATH
- S.P.O.S. SECLUDED PRIVATE OPEN SPACE.
- HG. NOMINAL LOCATION OF ADJACENT DWELLING GROUND FLOOR HABITABLE WINDOW.
- HF. NOMINAL LOCATION OF ADJACENT DWELLING FIRST FLOOR HABITABLE WINDOW.
- 15,000 L RWV
- 2.5m x 2m SIGHT-LINE TRIANGLE AS PER AS/NZS 2890.1:2004. LINE OF SIGHT MUST NOT BE OBSTRUCTED.
- RL. xx.xxx PROPOSED RELATIVE / REDUCED LEVEL
- FL. xx.xxx PROPOSED STRUCTURAL FLOOR LEVEL.

ROOF LEGEND

- X° FALL
LYSAGHT 'IMPERIAL' 325' ROOF PROFILE IN COLORBOND 'SURF MIST' FINISH COMPLETE WITH MATCHING FLASHING. ARROW INDICATES DIRECTION OF FALL, 'X' INDICATE NOMINATED PITCH.
- GROUND FLOOR:**
FASCIA & ROOF PLUMBING GOODS INCLUDING GUTTERS, DOWNPIPES & RAIN WATER HEAD - IN COLORBOND 'MONUMENT' MATT FINISH.
- FIRST FLOOR:**
FASCIA & ROOF PLUMBING GOODS INCLUDING GUTTERS, DOWNPIPES & RAIN WATER HEAD - IN COLORBOND 'SHALE GREY' MATT FINISH.



NO.	DATE	ITEM	C
5	14.12.18	NOTICE OF DECISION CONDITIONS AMENDMENT	FP
4	24.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE CONSULTANT	LB
3	18.05.18	AMENDMENTS IN RESPONSE TO COUNCIL HERITAGE LETTER DATED 04.04.18	LB
2	04.05.18	TREE NUMBER COORDINATION	LB

NO.	DATE	ITEM	C
1	14.12.18	ISSUED FOR PERMIT	FP

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CLIENT
UNITING CHURCH VICTORIA

PROJECT ADDRESS
104 ATKINSON STREET
TEMPLESTOWE, VIC 3106

PROJECT CAPTAIN
PV

DRAWN
LB

CHECKED BY
AL

PROJECT TITLE
MANNINGHAM UNITING CHURCH
COMMUNITY HUB

DRAWING
ROOF PLAN

PROJECT No.
36115

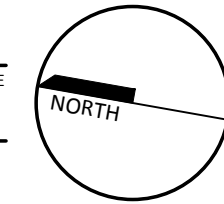
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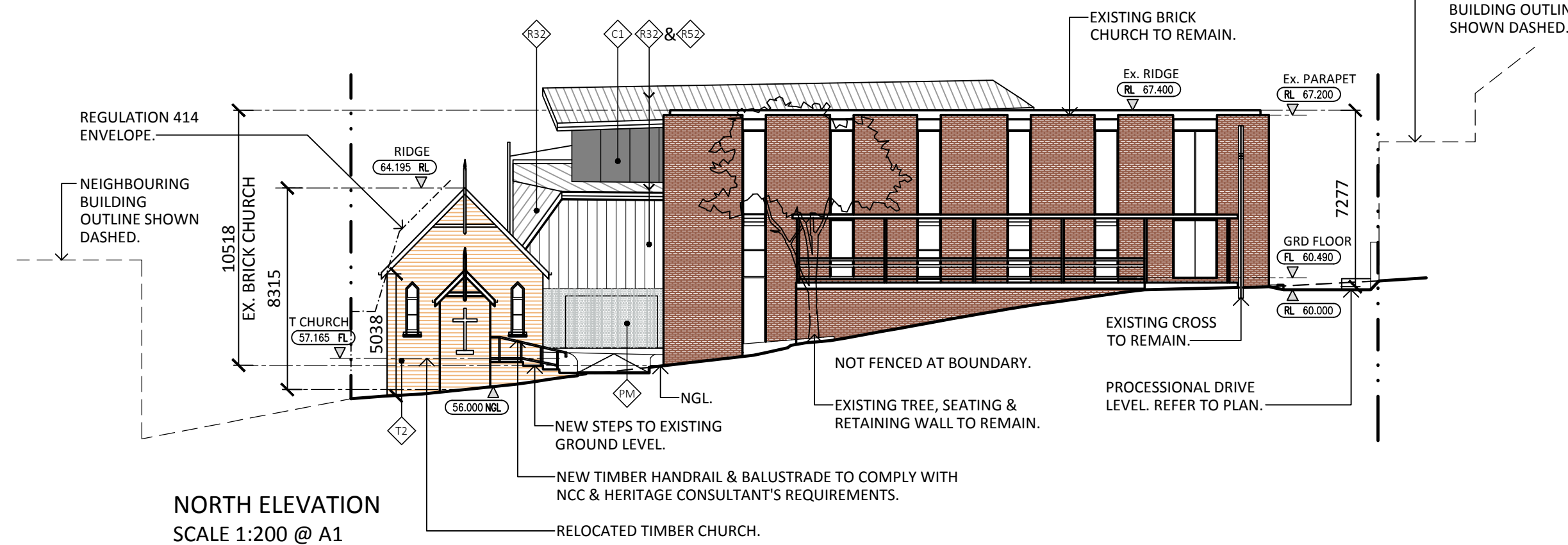
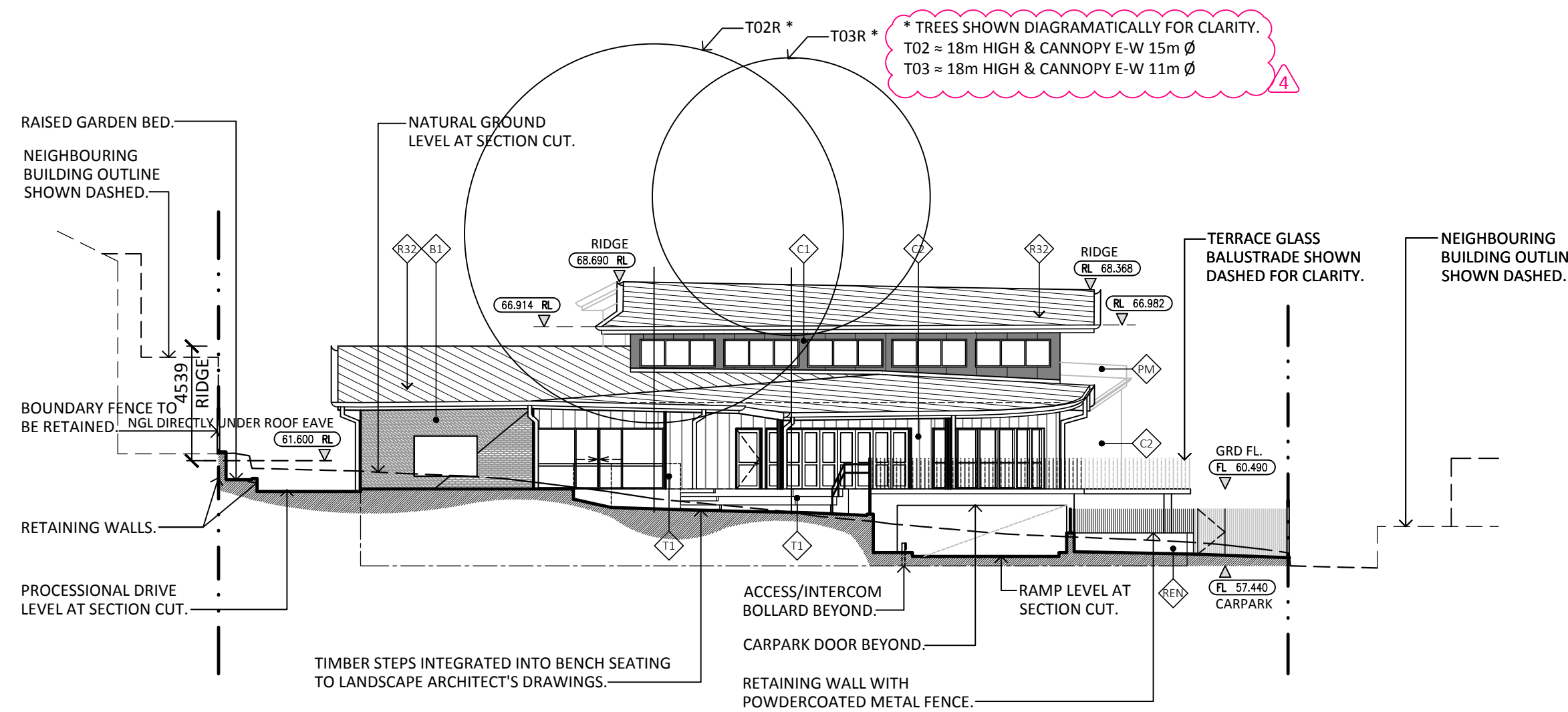
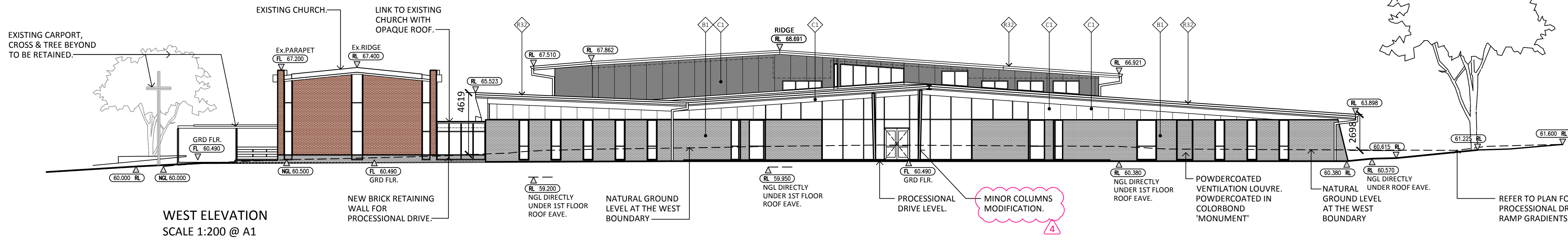
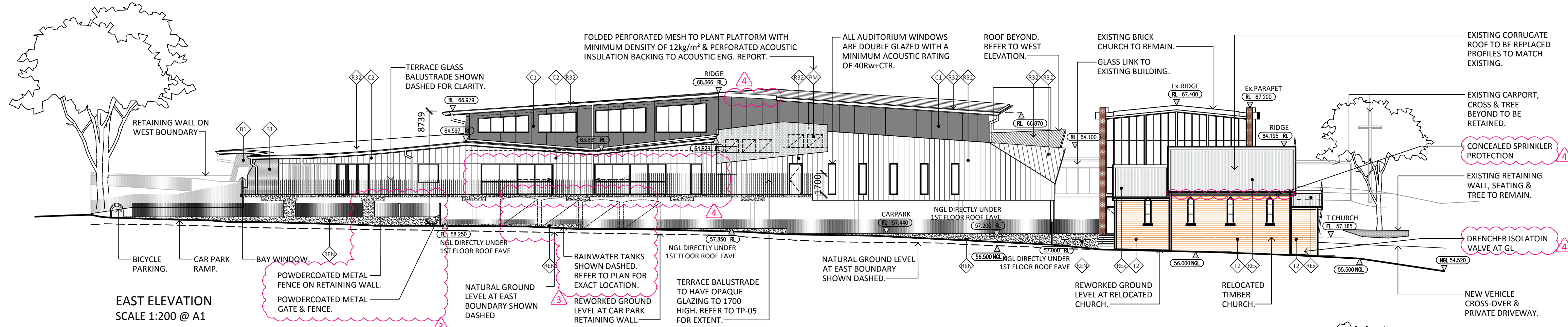
DRAWING NUMBER
TP - 07

REVISION
5

SHEET SIZE
A1

DRAWING TYPE
TOWN PLANNING





FINISHES SCHEDULE

COMPRESSED FIBRE CEMENT:

- CSR CEMINTEL 9Tx1200Wx2400H (OR 3000H) 'EXPRESSED' EXTERNAL COMPRESSED FIBRE CEMENT WALL CLADDING WITH EXPRESSED JOINTS AT ALL PANEL JUNCTIONS, WINDOWS & DOOR PERIMETERS AS SHOWN ON ELEVATIONS IN DULUX 'CHARCOAL' COLOUR TO BE SELECTED (DARK GREY INDICATIVE).
- CSR CEMINTEL 16Tx455Wx3030H 'TERRITORY QUARRY CONCRETE' PREFINISHED COMPRESSED FIBRE CEMENT WALL CLADDING WITH EXPRESSED JOINTS AT ALL PANEL JUNCTIONS, WINDOWS & DOOR PERIMETERS (LIGHT GREY INDICATIVE).

ROOF & WALL CLADDING:

- LYSAGHT STANDING SEAM 'IMPERIAL' PROFILES IN 325mm OR 525mm WIDE PROFILE IN 0.75BMT COLORBOND STEEL 'SURF MIST' MATT FINISH:
 - 325mm WIDE PROFILE.
 - 525mm WIDE PROFILE.

FASCIA & ROOF PLUMBING GOODS INCLUDING GUTTERS, DOWNPIPES & RAIN WATER HEAD & SPREADER..

- ...IN COLORBOND 'MONUMENT' MATT FINISH FOR THE GROUND FLOOR ROOF.
- ...IN COLORBOND 'SHALE GREY' MATT FINISH FOR THE FIRST FLOOR ROOF.

REPLACE EXISTING TIMBER CHURCH CORRUGATED GALVANIZED ROOF (NATURAL FINISH) WITH MATCHING PROFILE. REPLACE ALL ROOF PLUMBING ACCESSORIES TO MATCH EXISTING.

- 20mm THICK ACRYLIC ROCKCOTE RENDER WITH COLOUR TO MATCH DULUX 'SHALE GREY' WITH A CLEAR ANTI-GRAFFITI PROTECTION LAYER.

ALL EXPOSED STRUCTURAL COLUMNS & BEAMS TO BE PAINTED WITH DULUX 'FERRODOR 810' MICACEOUS IRON OXIDE COLOUR: 'ST ENOCH GREY'.

ALL WINDOWS & DOORS FRAMES ARE POWDERCOATED ALUMINIUM TO MATCH COLORBOND 'MONUMENT' COLOUR, MATT FINISH.

ALL WINDOWS & DOORS REVEALS ARE ~5mm THICK, 300mm DEEP POWDERCOATED METAL TO MATCH MONUMENT.

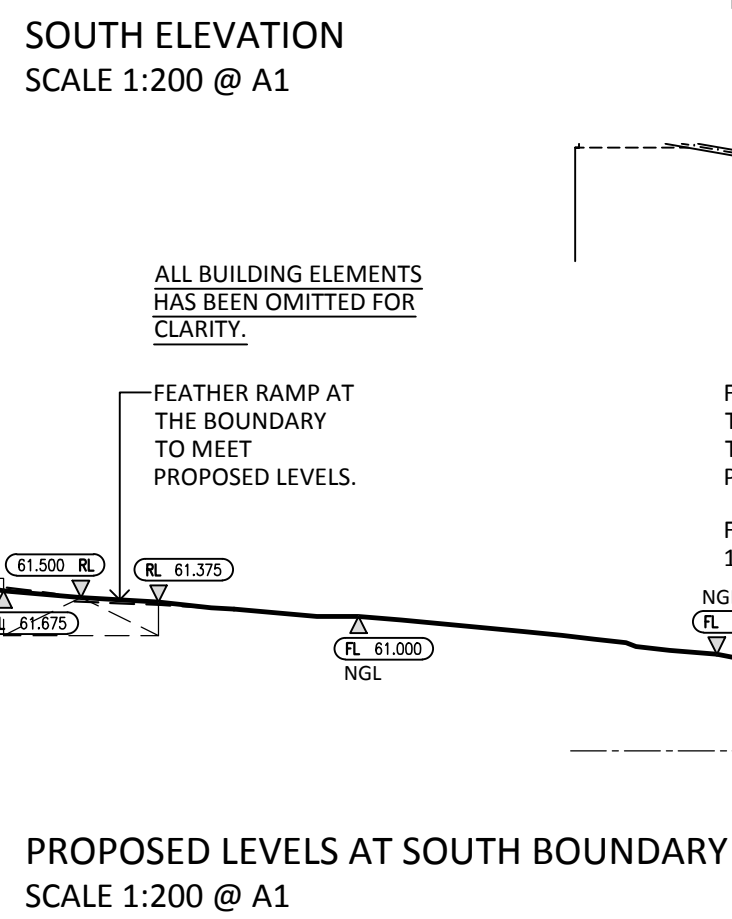
AUSTRAL BRICKS 230x110x76 BRICK RANGE: LA PALOMA COLOUR: 'AZUL' MORTAR: CHARCOAL, RAKED MORTAR JOINT.

TIMBER FINISH: SELECTED GRADE SPOTTED GUM IN A CLEAR OILED FINISH.

EXISTING TIMBER WEATHERBOARD TO BE REPAINTED.

FOLDED PERFORATED MESH ON A 65x65 METAL FRAME. NATURAL ANODISED FINISH. PROFILE TO BE SELECTED.

8Tx100Wx1200H METAL BLADE FENCE. PICKET SPACING 110mm. POWDERCOATED FINISH COLOUR TO MATCH COLORBOND 'MONUMENT'.

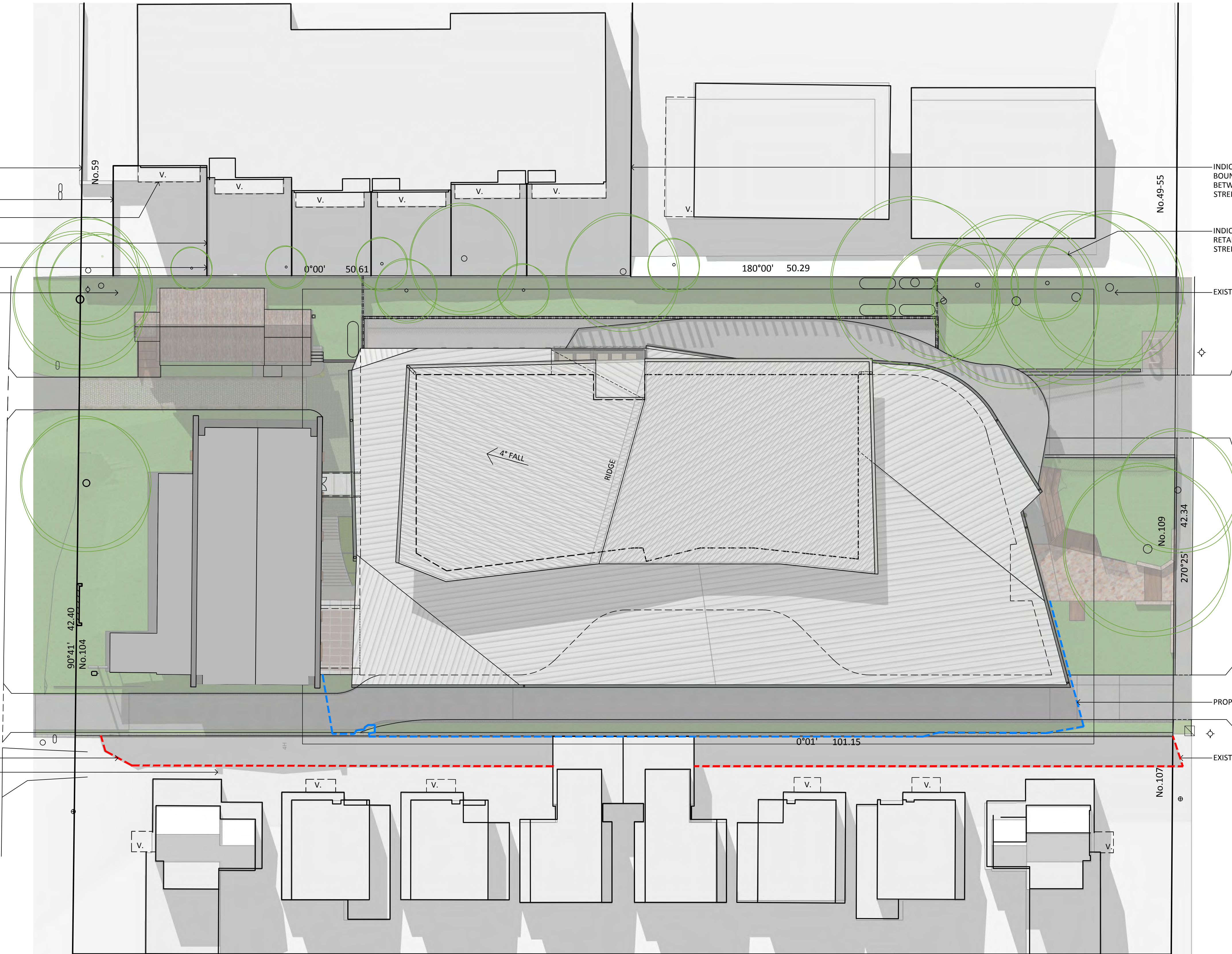


INDICATIVE LOCATION OF EXISTING NEIGHBOURING BRICK FENCE.
 INDICATIVE LOCATION OF EXISTING TIMBER PALING FENCE.
 EXISTING NEIGHBOURING VERANDAH.
 EXISTING DIVIDING FENCES BETWEEN THE NEIGHBOURING APARTMENTS.
 SHADOW CAST BY NEIGHBOURING BUILDINGS SHOWN INDICATIVELY.
 EXISTING BOUNDARY FENCE SHADOW.

INDICATIVE LOCATION OF EXISTING BOUNDARY FENCE & RETAINING WALL BETWEEN No.59 & 49-55 ANDERSON STREET.
 INDICATIVE LOCATION OF EXISTING SITE CUT & RETAINING WALL ON No.49-55 ANDERSON STREET. REFER TO LEVELS ON SURVEY PLAN.
 EXISTING BOUNDARY FENCE SHADOW.

EXISTING BOUNDARY FENCE SHADOW.
 EXISTING BRICK CHURCH SHADOW.

PROPOSED BUILDING SHADOW.
 EXISTING BOUNDARY FENCE SHADOW.



9:00AM SEPTEMBER EQUINOX SHADOW DIAGRAM
 SCALE 1:200 @ A1

NOTE:
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 ALL NEIGHBOURING BUILDINGS, CONTOURS, FEATURES AND SHADOWS ARE SHOWN INDICATIVELY ONLY. REFER TO SURVEY PLAN.

NO.	DATE	ITEM	BY
14.02.18		RESPONSE TO RFI 30.01.2018	CP

NO.	DATE	ITEM	BY

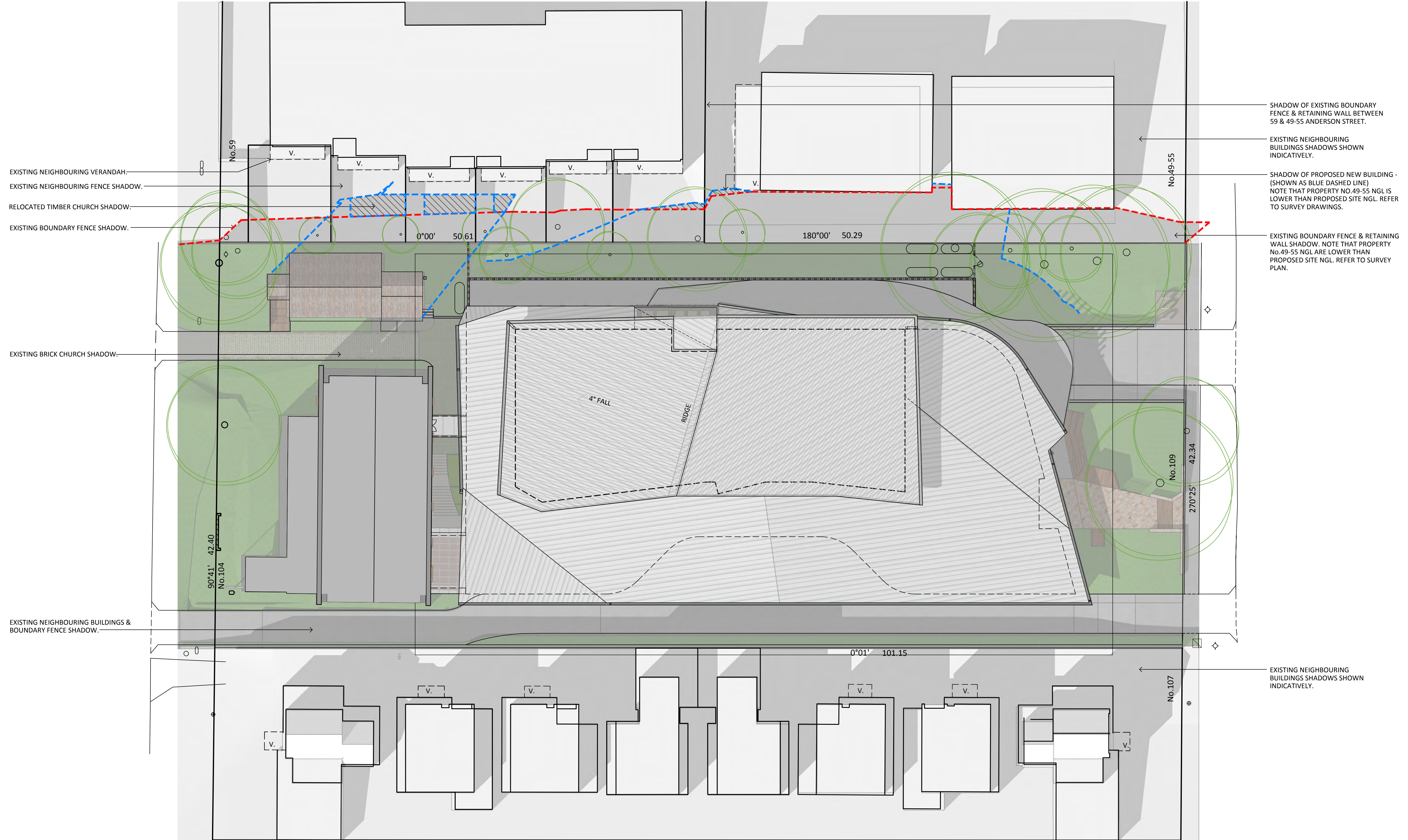
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CLIENT
UNITING CHURCH VICTORIA
 PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV
 DRAWN
LB
 CHECKED BY
AL
 PLOT DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**
 DRAWING
SHADOW DIAGRAM SHEET 1

PROJECT No.
36115
 SCALE
1:200
 DRAWING NUMBER
TP - 09
 SHEET SIZE
A1
 REVISION
 -
 DRAWING TYPE
TOWN PLANNING



EXISTING NEIGHBOURING VERANDAH.
 EXISTING NEIGHBOURING FENCE SHADOW.
 RELOCATED TIMBER CHURCH SHADOW.
 EXISTING BOUNDARY FENCE SHADOW.

EXISTING BRICK CHURCH SHADOW.

EXISTING NEIGHBOURING BUILDINGS & BOUNDARY FENCE SHADOW.

SHADOW OF EXISTING BOUNDARY FENCE & RETAINING WALL BETWEEN 59 & 49-55 ANDERSON STREET.

EXISTING NEIGHBOURING BUILDINGS SHADOWS SHOWN INDICATIVELY.

SHADOW OF PROPOSED NEW BUILDING - (SHOWN AS BLUE DASHED LINE) NOTE THAT PROPERTY NO.49-55 NGL IS LOWER THAN PROPOSED SITE NGL. REFER TO SURVEY DRAWINGS.

EXISTING BOUNDARY FENCE & RETAINING WALL SHADOW. NOTE THAT PROPERTY NO.49-55 NGL ARE LOWER THAN PROPOSED SITE NGL. REFER TO SURVEY PLAN.

EXISTING NEIGHBOURING BUILDINGS SHADOWS SHOWN INDICATIVELY.

3:00PM SEPTEMBER EQUINOX SHADOW DIAGRAM
 SCALE 1:200 @ A1

NOTE:
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NO.	DATE	ITEM	CP
14.02.18		RESPONSE TO RFI 30.01.2018	

NO.	DATE	ITEM	C

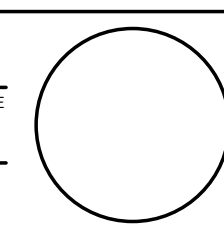
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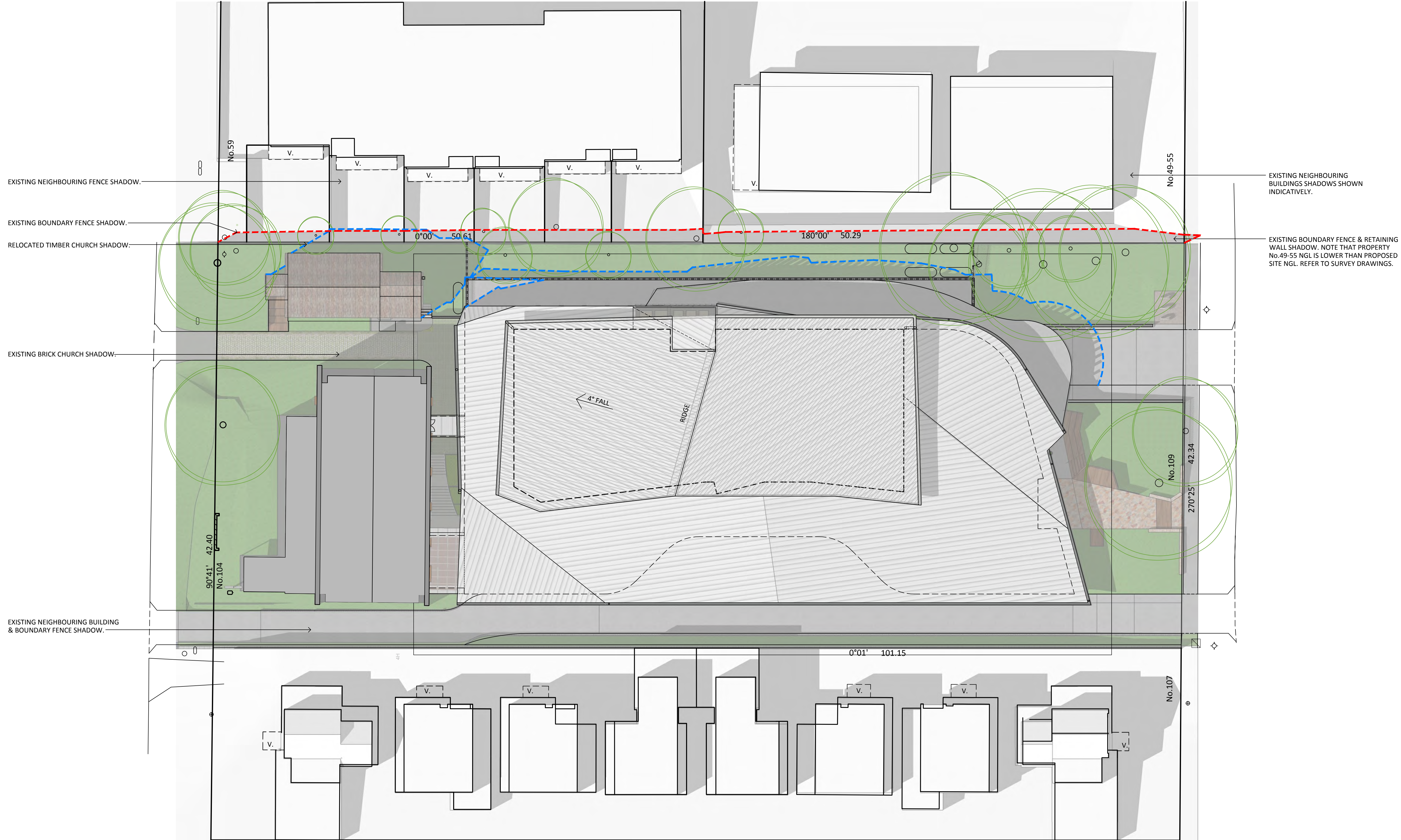
CLIENT
UNITING CHURCH VICTORIA
 PROJECT ADDRESS
**104 ATKINSON STREET
 TEMPLESTOWE, VIC 3106**

PROJECT CAPTAIN
PV
 DRAWN
LB
 CHECKED BY
AL
 PLOT DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
 COMMUNITY HUB**
 DRAWING
SHADOW DIAGRAM SHEET 2

PROJECT No.
36115
 SCALE
1:200
 DRAWING NUMBER
TP - 10
 DRAWING TYPE
TOWN PLANNING





EXISTING NEIGHBOURING FENCE SHADOW.

EXISTING BOUNDARY FENCE SHADOW.

RELOCATED TIMBER CHURCH SHADOW.

EXISTING BRICK CHURCH SHADOW.

EXISTING NEIGHBOURING BUILDING & BOUNDARY FENCE SHADOW.

EXISTING NEIGHBOURING BUILDINGS SHADOWS SHOWN INDICATIVELY.

EXISTING BOUNDARY FENCE & RETAINING WALL SHADOW. NOTE THAT PROPERTY No.49-55 NGL IS LOWER THAN PROPOSED SITE NGL. REFER TO SURVEY DRAWINGS.

2:00PM SEPTMBER EQUINOX SHADOW DIAGRAM
SCALE 1:200 @ A1

NOTE:
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**104 ATKINSON STREET
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PROJECT CAPTAIN
PV
DRAWN
LB
CHECKED BY
AL
PLOT DATE
14.12.18

PROJECT TITLE
**MANNINGHAM UNITING CHURCH
COMMUNITY HUB**
DRAWING
SHADOW DIAGRAM SHEET 3

PROJECT No.
36115
SCALE
1:200
DRAWING NUMBER
TP - 11
DRAWING TYPE
TOWN PLANNING

